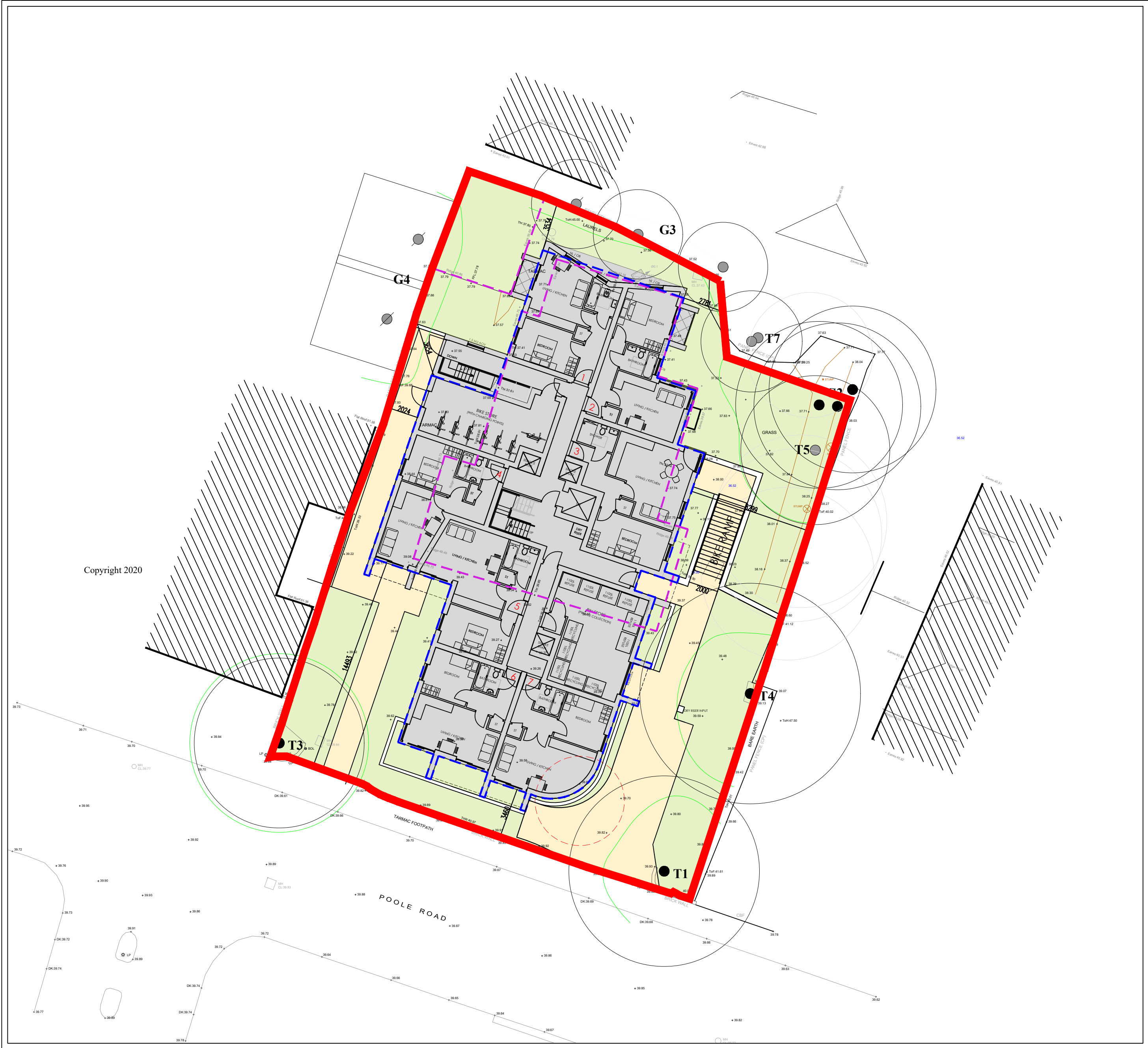


10m @ 1:200

25m @ 1:500



SITE PLAN
SCALE 1:200
BASED ON TOPO INFORMATION

DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

GENERAL NOTES:

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and or Principal Contractor carrying out the next phase of works on this site.

INFORMATION

CDM - PRE-CONSTRUCTION INFO FROM CLIENT

CDM Information requested from client:

- Topographical Survey

Outstanding CDM information remains as residual risk, please request ARC appendix C for full list requested.

DESIGN INFORMATION

Further design info to be provided at subsequent stages of design / building regulations process

CONSTRUCTION RISKS

* WORKING AT HEIGHT

CLOSE PROXIMITY TO TREES

Any required remedial work to trees for example - low hanging branches or rotting and unstable branches, to be evaluated and undertaken prior to construction commencing

TEMPORARY GUARDING

To be installed during construction to prevent falling on existing uneven and stepped terrain

ARBORICULTURAL METHOD STATEMENT

There is an approved arboricultural method statement for this project that must be followed

ROOFLIGHT SPECIFICATION

To be designed by specialist supplier to be structurally sound (where roof access is required), and to incorporate self cleaning glass

UNKNOWN UNDERGROUND SERVICES

Location and nature of all existing underground services to be ascertained and mitigation / plan of works to be devised by specialist prior to commencement.

PLACEMENT OF SUDS

When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan

FLAT ROOF ACCESS

Roof access for construction to be undertaken by specialist using specialist equipment. e.g. scaffolding, appropriately designed and installed man safe system by specialist designer.

FLAT ROOF ACCESS

Permanent roof balustrades at a distance from edges should be installed to prevent falling. Roof access for construction to be undertaken by specialist using specialist equipment, e.g. scaffolding, appropriately designed and installed man safe system by specialist designer where balustrades are not feasible.

MAINTENANCE RISKS

*** SOLAR PANELS

*** PLANT / SERVICE AREAS

*** ACCESS TO AOV'S

Changing light bulbs

No lighting or electrical fixtures or fittings to be positioned above or close to double height space.

or

lighting or electrical fixture above double height space to be maintained by specialist contractor using safe method e.g. scaffolding or lowering light fitting.

FLAT ROOF ACCESS

Plant or apparatus on the roof to be kept to a minimum and positioned away from edges/ potential falls.

Roof access for maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.

CLEANING WINDOWS

Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

Sliding glazing to balcony's can be cleaned from balcony

IN - USE RISKS

EXTERNAL GUARDING

To be designed at regs stage across site at different garden / external staircase levels to prevent falling

SMOKE SHAFT MAINTENANCE

Safety grills to be provided within smoke shaft at each vent for internal maintenance. Ensure free venting area is still maintained.

GAS PRESENCE

Potential for presence of Gas (various types) to be investigated. If present, specialist to provide design to negate.

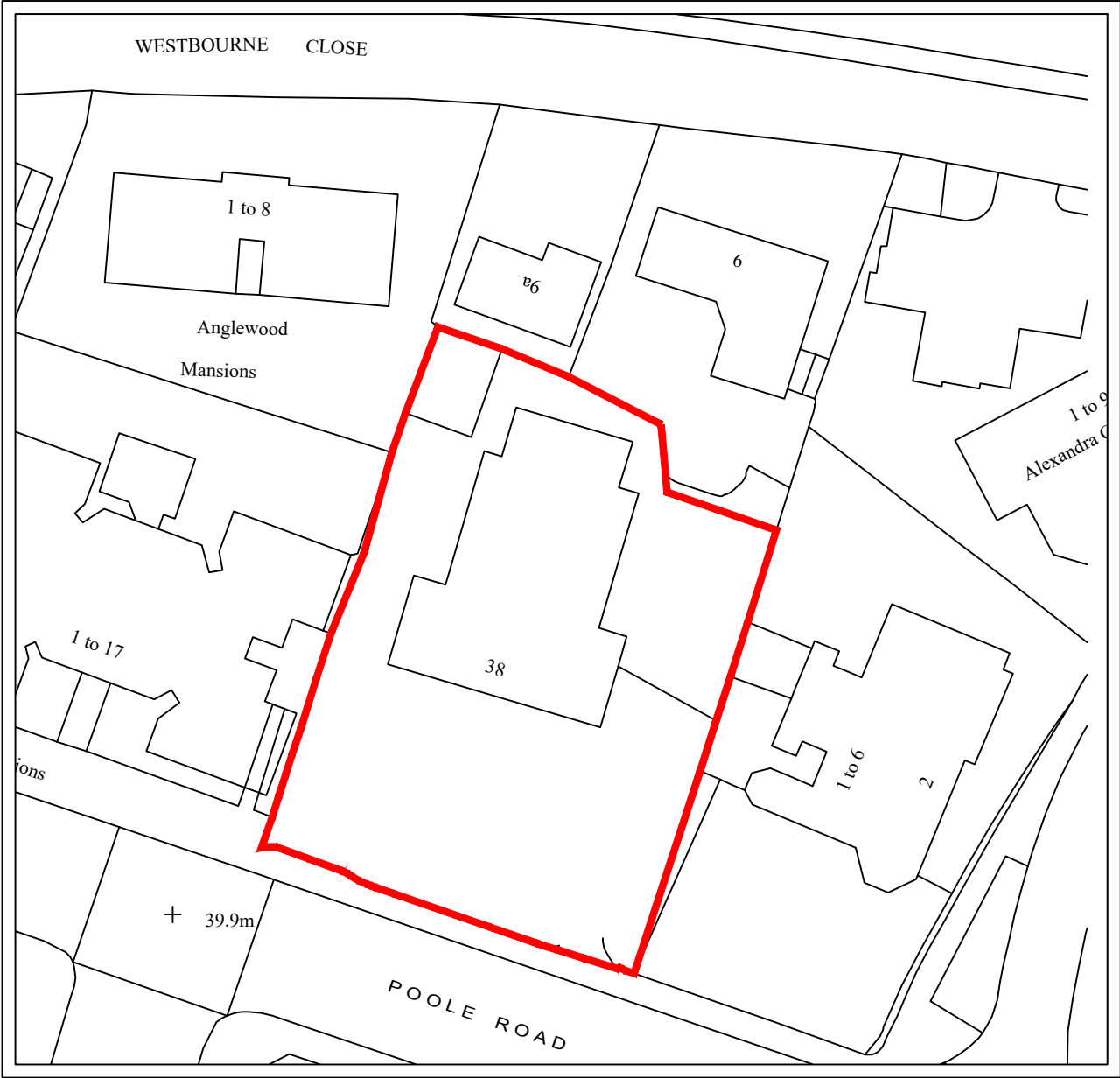
DEMOLITION RISKS

REFURBISHMENT AND DEMOLITION SURVEY

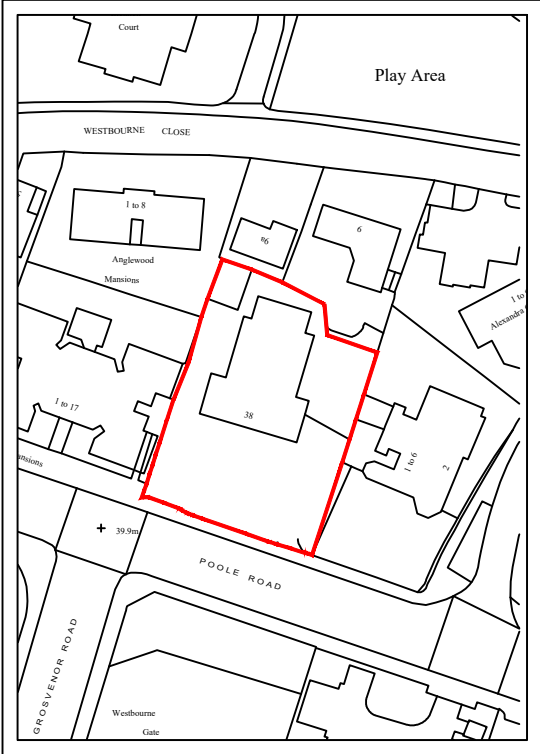
Hazardous material survey to undertaken prior to any on site works commencing - including stripping out.

TREE REMOVAL

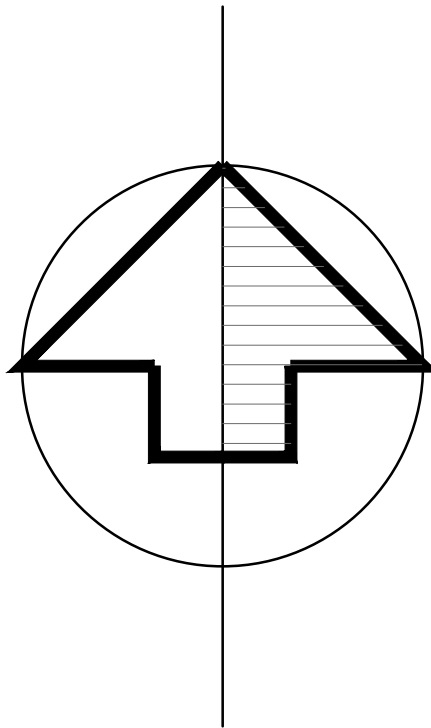
Tree removal/trimming works to undertaken prior to any on building works commencing by approved arboricultural surgeon. Waste to be removed from site responsibly.



BLOCK PLAN
SCALE 1:500
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



LOCATION PLAN
SCALE 1:1250
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



BIKE WHEELING RAMP

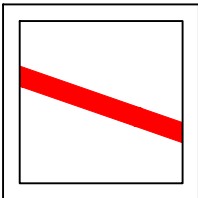


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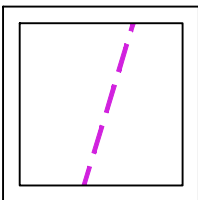
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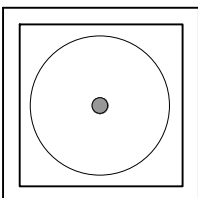
LEGEND



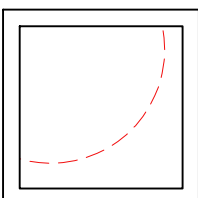
SITE PLAN



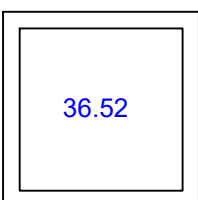
EXISTING BUILDING TO BE DEMOLISHED



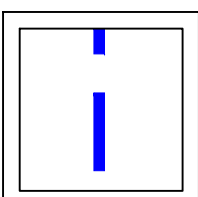
EXISTING TREES TO BE RETAINED



EXISTING TREES TO BE REMOVED



NEW LEVELS



PREVIOUS 5 STOREY SCHEME

SITE AREA = 0.28 ACRES / 0.115 HECTARES

64 X CYCLE SPACES

SCHEDULE OF ACCOMMODATION

40 TOTAL UNITS
TOTAL GIA @ 2550 SQM

B.	NEW GF & DELIVERY BAY ADDED	23.08.23	FG
A.	CLIENT AMENDMENT	17.04.23	FG

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

SITE, BLOCK AND LOCATION PLAN

scale	AS SHOWN @ A1	checked	
date	MAY 2022	drawn	JA/FG
9442 / 100		A	B

ARC Architecture Ltd.

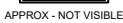
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E-mail: enquires@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



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NORTH ELEVATION
SCALE 1:100



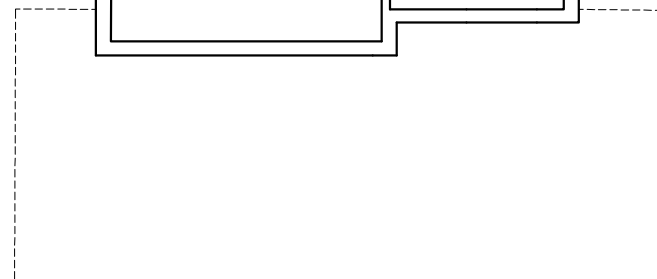
EAST ELEVATION
SCALE 1:100



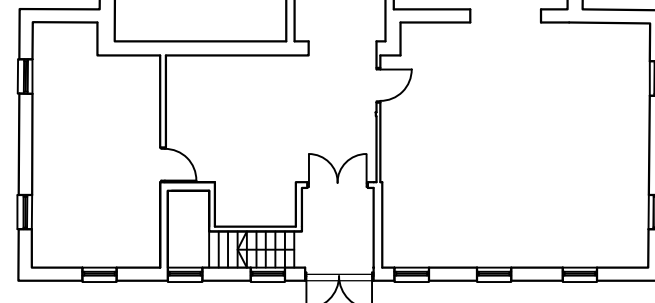
SOUTH ELEVATION
SCALE 1:100



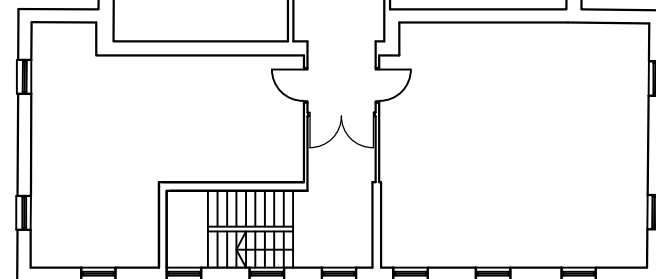
WEST ELEVATION
SCALE 1:100



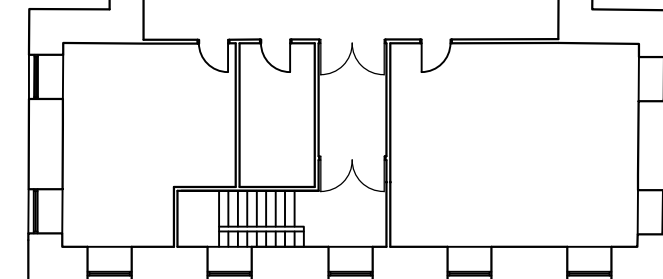
LOWER GROUND FLOOR PLAN
SCALE 1:200



GROUND FLOOR PLAN
SCALE 1:200



FIRST FLOOR PLAN
SCALE 1:200



UPPER FLOOR PLAN
SCALE 1:200

rev-19-05-22

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EXISTING AREA @ 857.3 SQM			
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No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

EXISTING FLOOR PLANS & ELEVATIONS

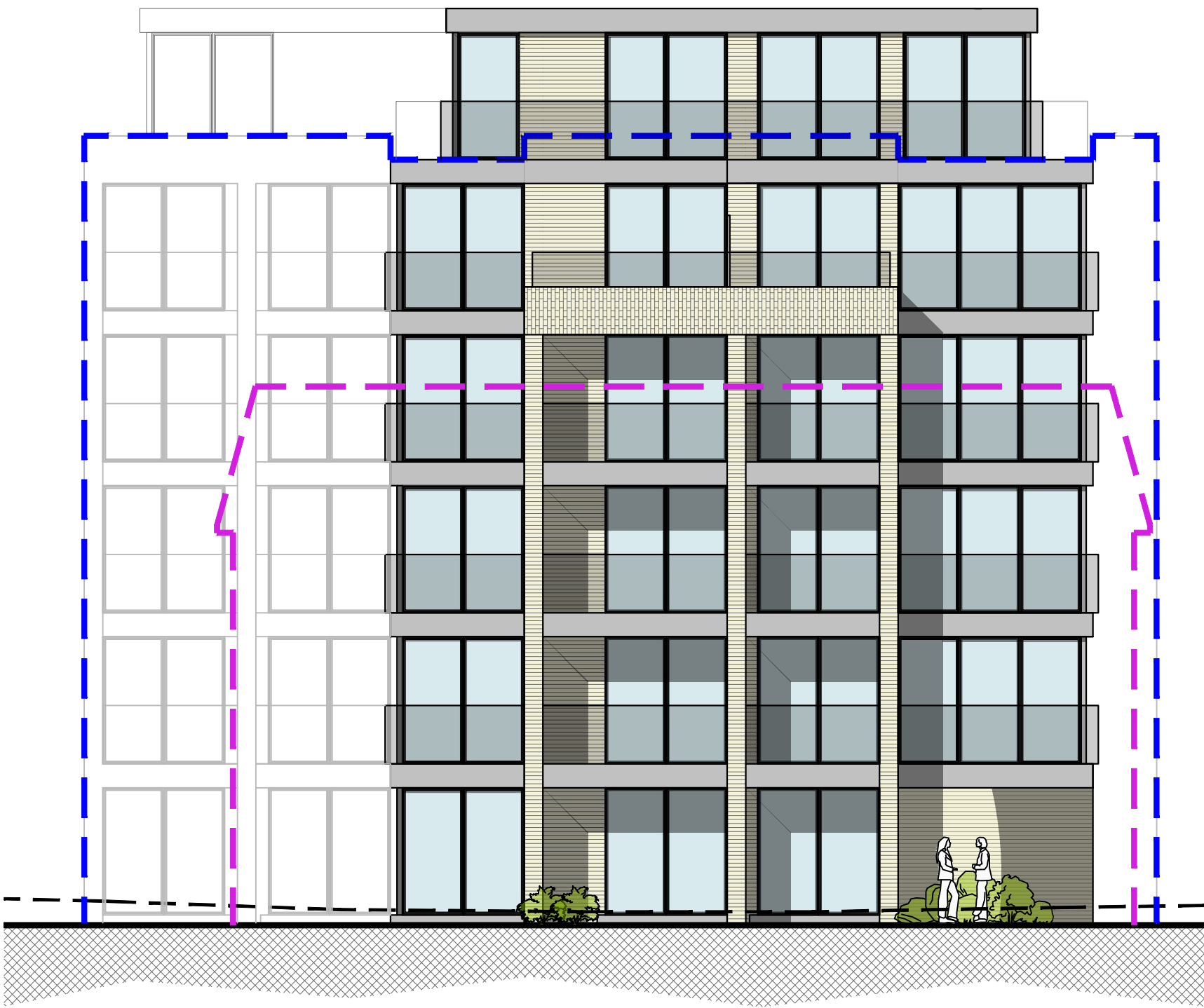
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date	MARCH 2023	drawn FG
9442 / 106		

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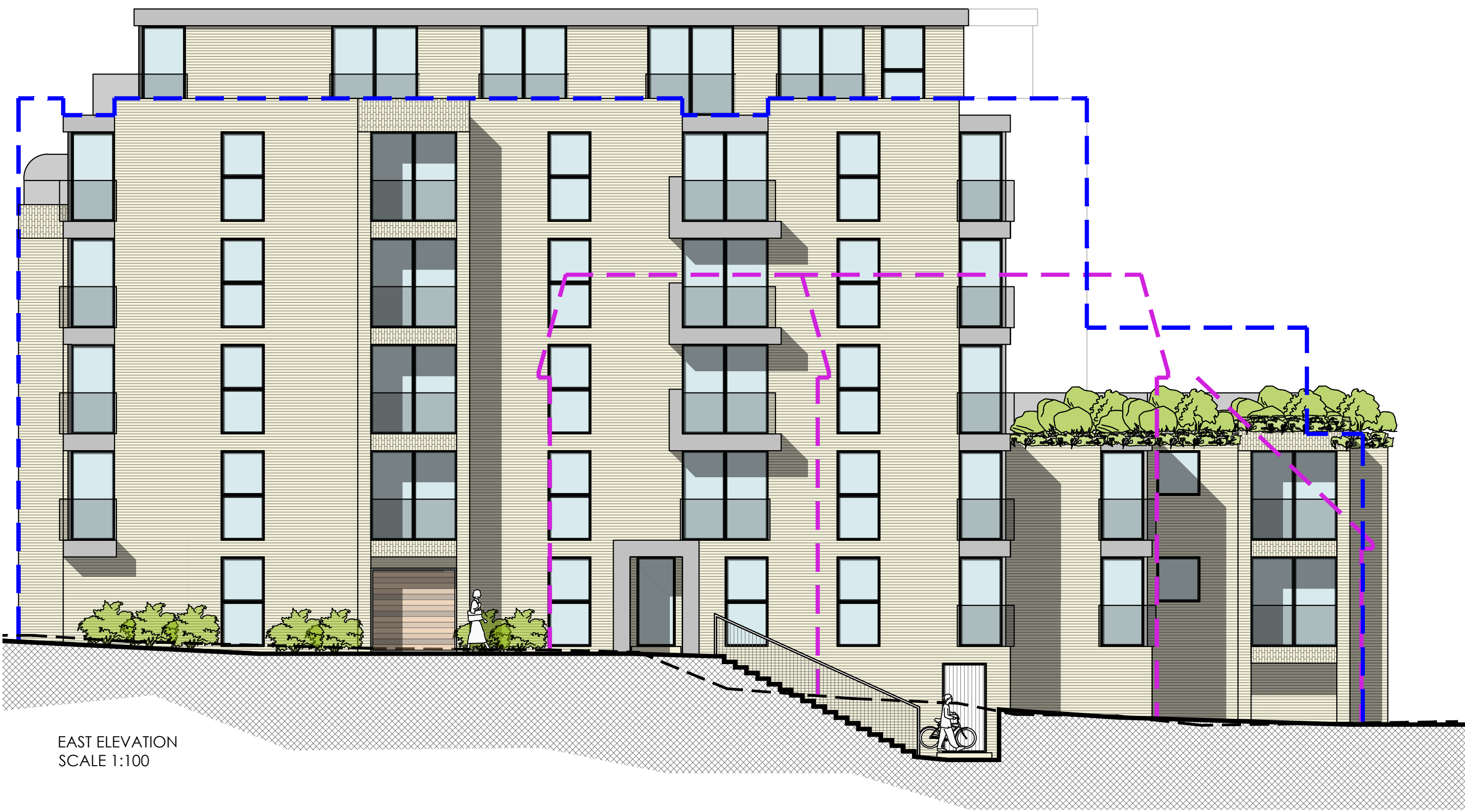
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Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
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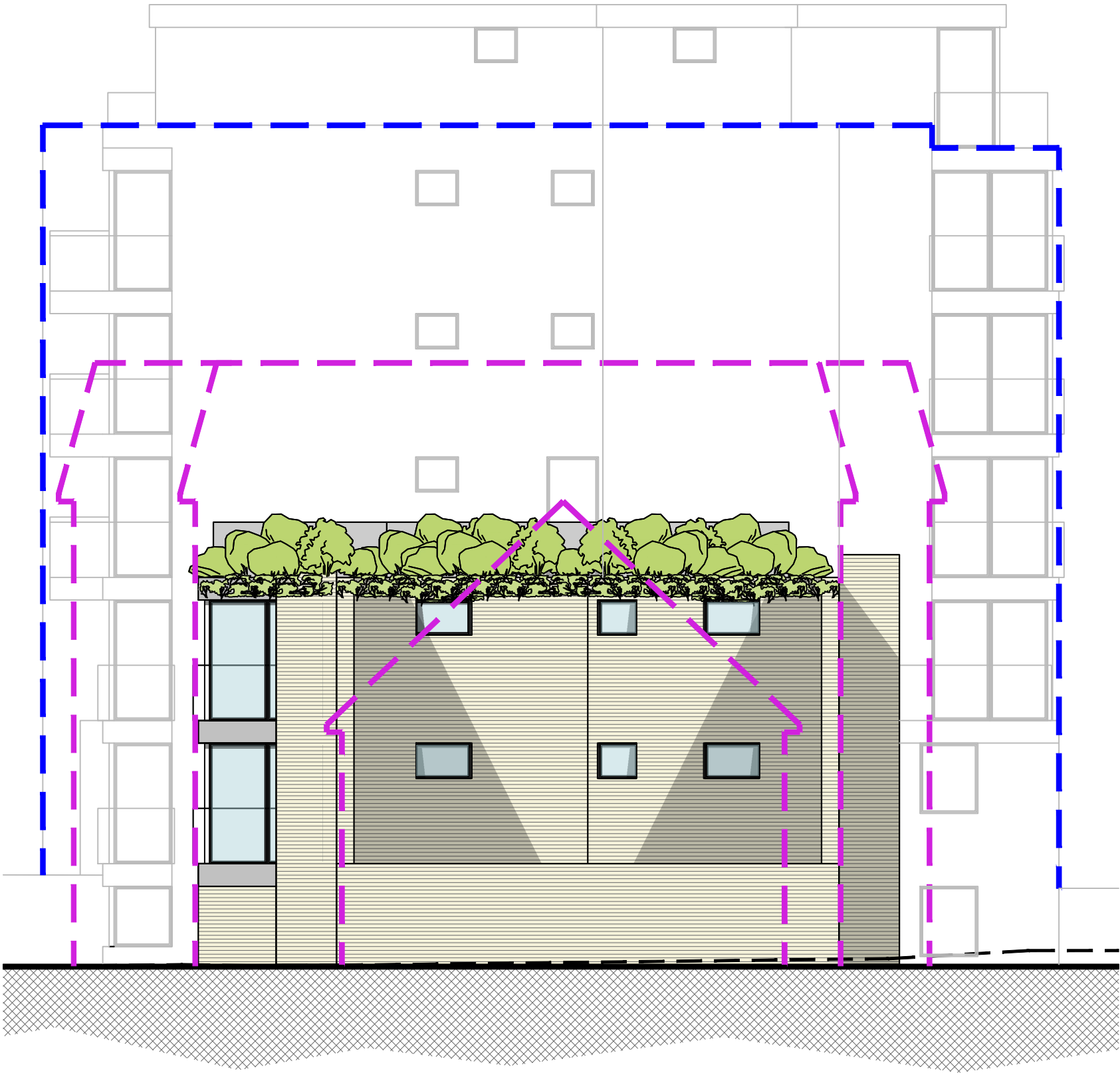




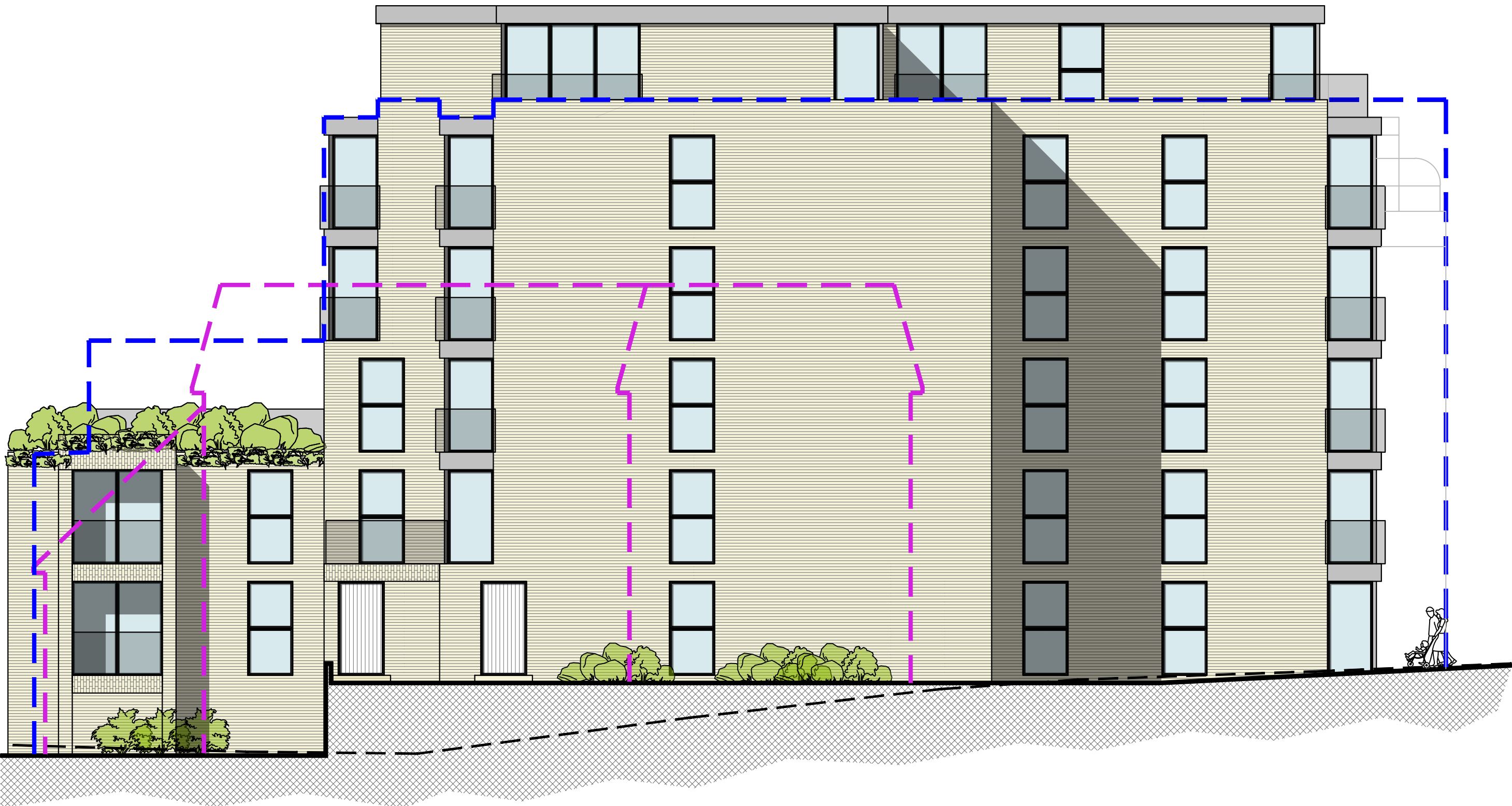
SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



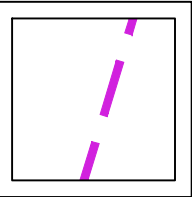
WEST ELEVATION
SCALE 1:100

NOTES

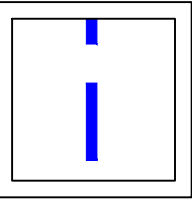
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LEGEND



EXISTING BUILDING TO BE DEMOLISHED



PREVIOUS 5 STOREY SCHEME

MATERIALS SCHEDULE:

- EXTERNAL WALLS:- . BUFF BRICK
- BALCONIES:- . GREY ALUMINIUM
- WINDOWS & DOORS:- . GREY ALUMINIUM
- ROOF:- . SINGLE PLY MEMBRANE

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)

E.	AMENDED TO REFLECT FLOOR PLANS	12.03.24	JA
D.	AMENDED TO REFLECT FLOOR PLANS	11.03.24	JA
C.	AMENDED TO REFLECT FLOOR PLANS	04.09.23	FG
B.	AMENDED TO REFLECT FLOOR PLANS	23.08.23	FG
A.	CLIENT AMENDMENT	17.04.23	FG

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

PROPOSED ELEVATIONS

scale	AS SHOWN @ A1	checked	
date	MARCH 2023	drawn	FG
		A	B
		C	D
		E	

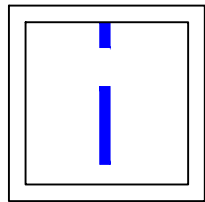
9442 / 104

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Web: www.andersrobertscheer.co.uk



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PREVIOUS 5 STOREY SCHEME



ev-19-05-22

- [illegible]

B	REVISED ELEVATION SHOWN	12.03.24	JA
A	REVISED ELEVATION SHOWN	11.03.24	JA
No.	Revision.	date	by

PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

INDICATIVE STREET SCENE

scale	AS SHOWN @ A1				checked					
date	MARCH 2023				drawn FG					
9442 / 105					A	B				

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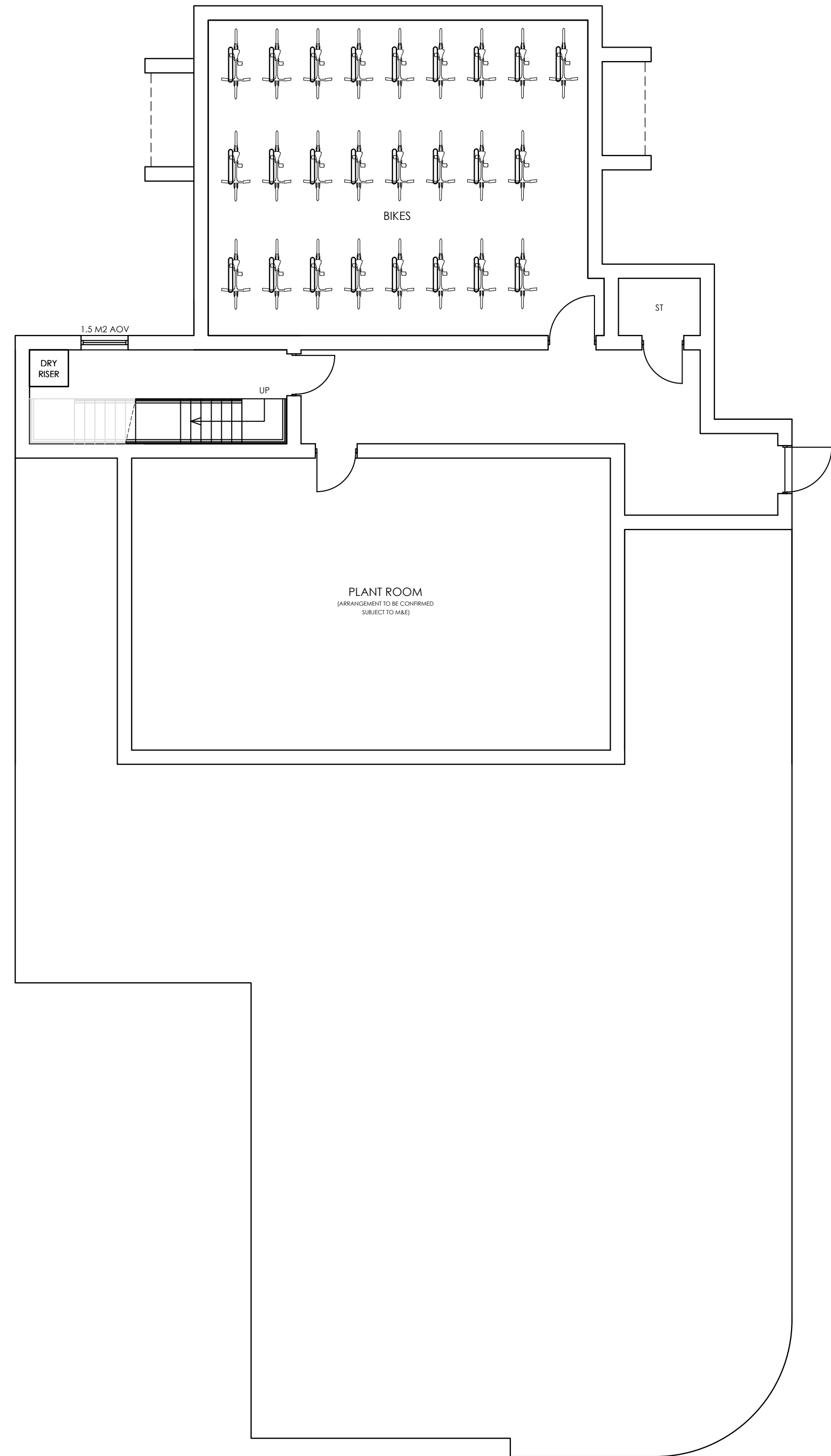
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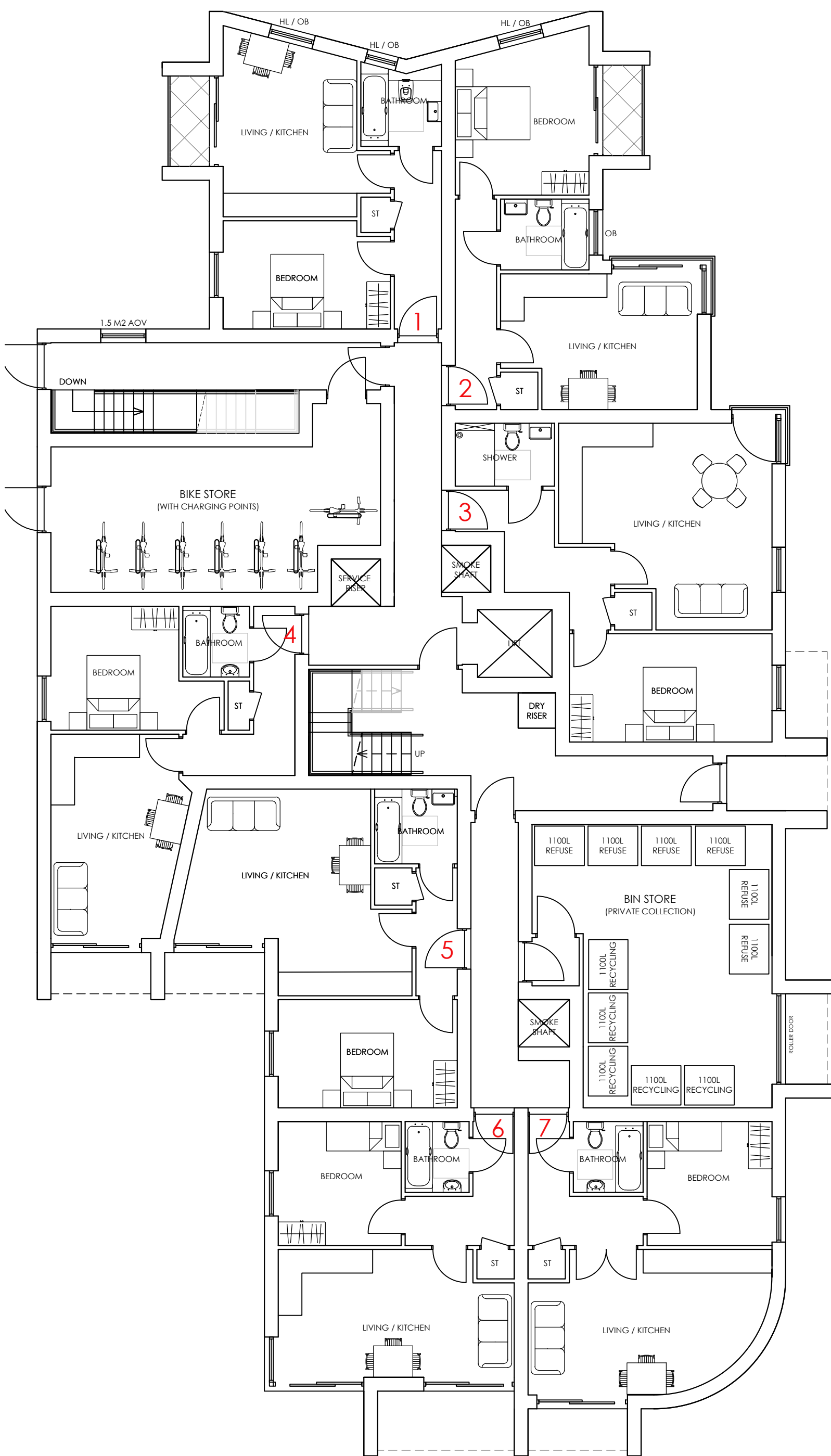
arc
ARCHITECTS



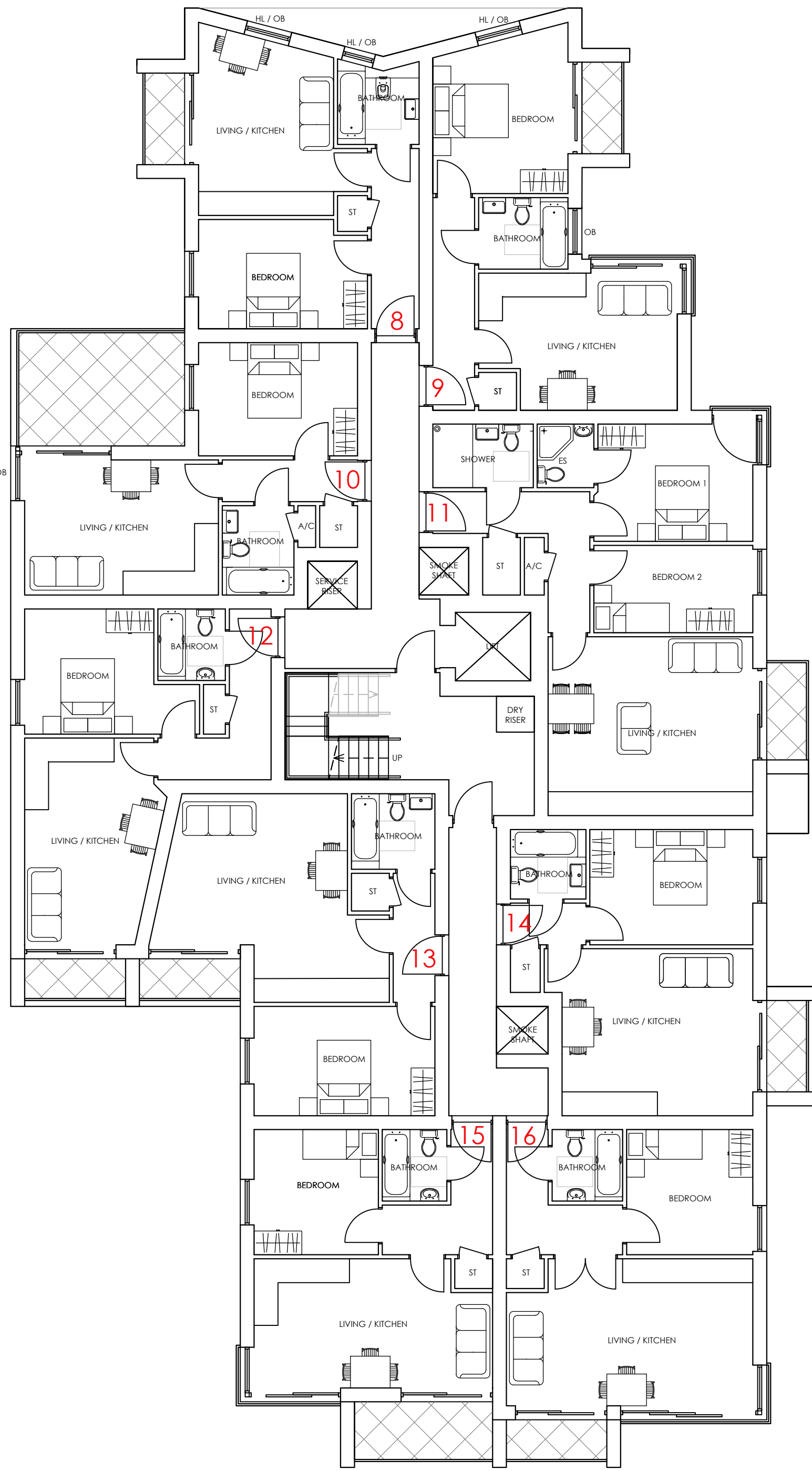
10m @ 1:100



LOWER GROUND FLOOR PLAN
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100

NOTES

rev-19-05-22

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UNIT NO:	BEDS:	SQM	UNIT NO:	BEDS:	SQM
1	1	39.2	21	1	40.3
2	1	41.7	22	1	39.9
3	1	52.6	23	1	44.2
4	1	40.4	24	1	40.4
5	1	45.9	25	1	39.0
6	1	39.9	26	2	62.0
7	1	41.7	27	1	45.9
8	1	39.2	28	1	40.3
9	1	41.7	29	1	39.9
10	1	39.0	30	1	44.2
11	2	62.0	31	1	40.4
12	1	40.4	32	1	39.0
13	1	45.9	33	2	62.0
14	1	40.3	34	1	45.9
15	1	39.9	35	1	40.3
16	1	44.2	36	1	39.9
17	1	40.4	37	1	44.2
18	1	39.0	38	2	81.6
19	2	62.0	39	2	71.5
20	1	45.9	40	2	76.9
(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER			(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER		

B.	BIN STORE MOVED SCHEDULE UPDATED	23.08.23	FG
A.	CLIENT AMENDMENT	17.04.23	FG

No.	Revision.	date	by

PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

PROPOSED FLOOR PLANS 1 OF 3

scale	AS SHOWN @ A1	checked	
date	MAY 2022	drawn	JA/FG
9442 / 101	A	B	

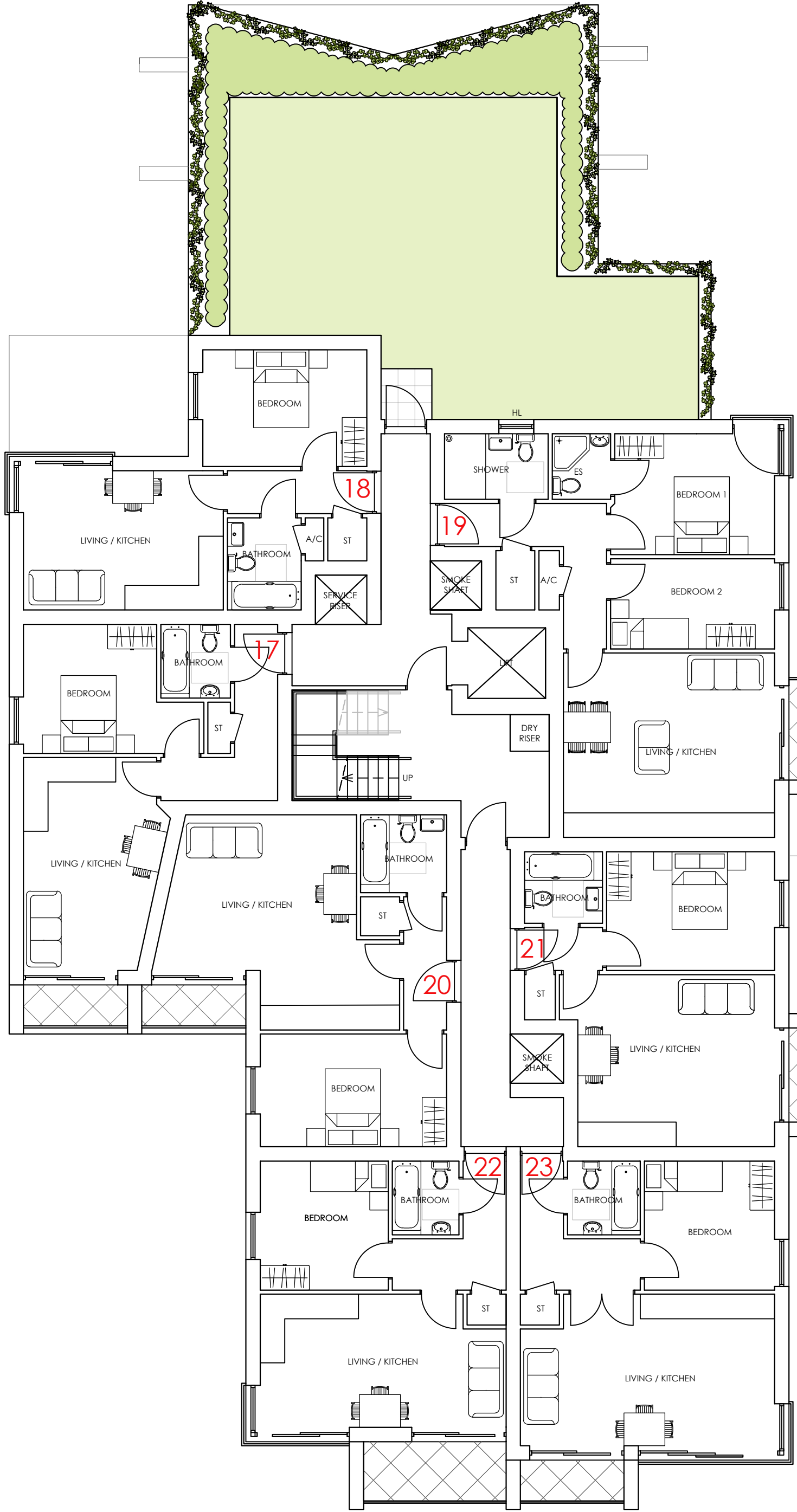
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Christchurch, Dorset, BH23 1EP

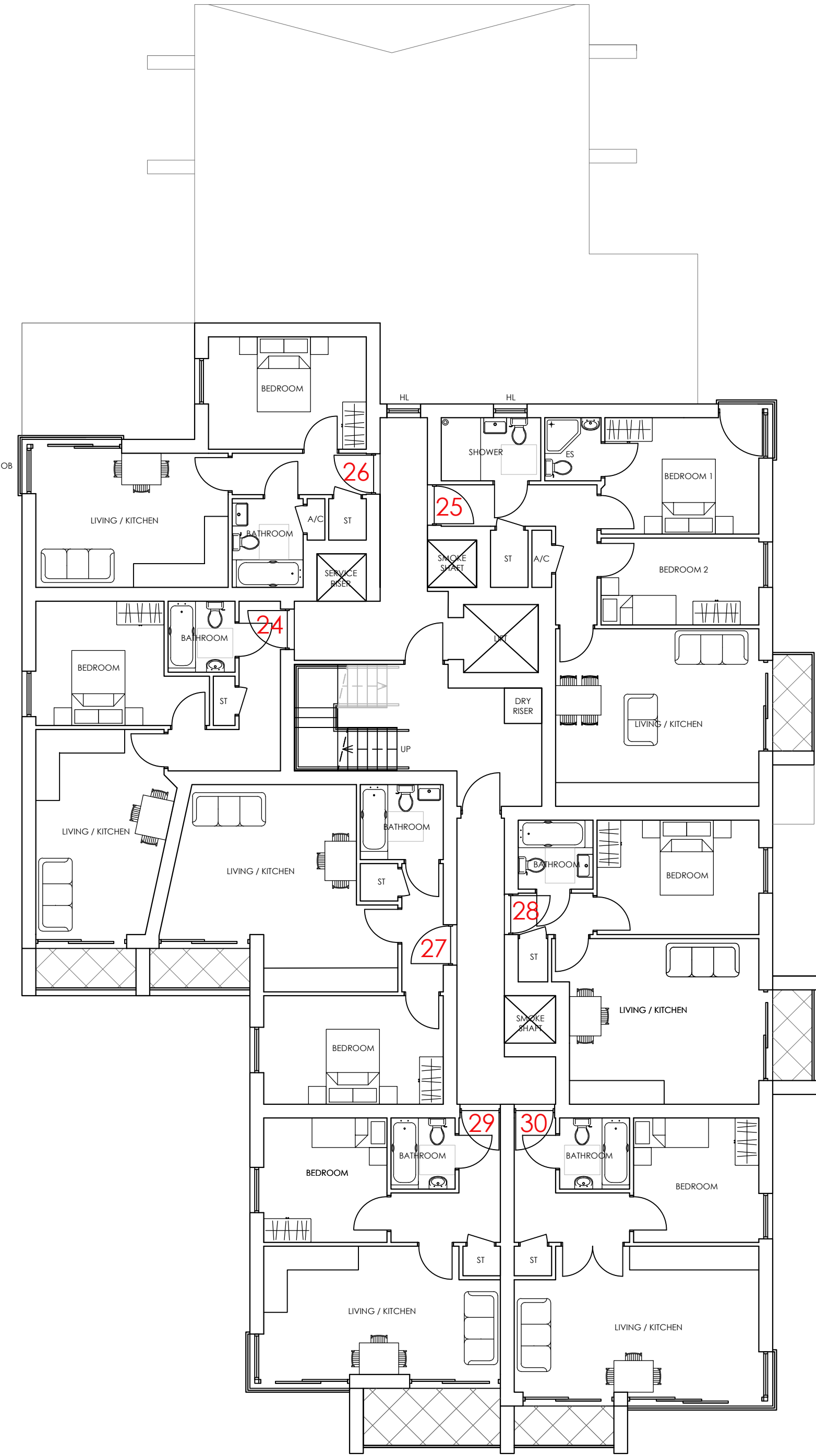
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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



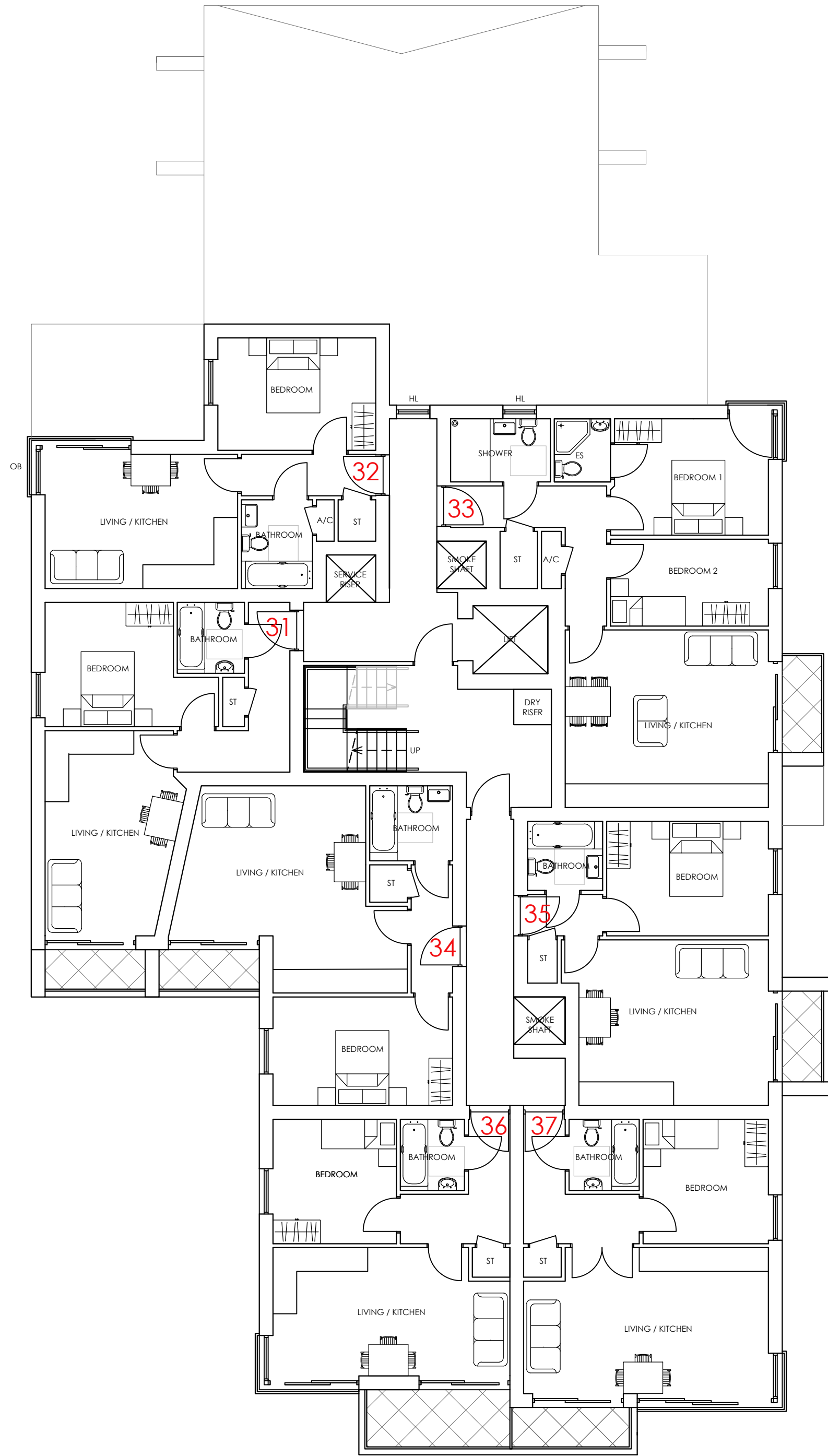
10m @ 1:100



SECOND FLOOR PLAN
SCALE 1:100



THIRD FLOOR PLAN
SCALE 1:100



FOURTH FLOOR PLAN
SCALE 1:100

NOTES

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 8. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
 9. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
 10. We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.
 11. All Cladding & building attachments externally to be at A1 fire rated.
- NOTE:** We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety, Part 8 building regulations, BS 9991 for fire in EWS1 and drawings in the way from a fire strategy aspect. All design details relating to fire safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact us in writing immediately.
- EWS1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1's on buildings outside of the EWS1 standard criteria.
- Part 8 & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part 8 & Fire safety. Please note that subject to a fire consultants confirmation/output the following points may be required in some or all areas of the building. 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction. 3) Fixed shut fire safety glass 4) plain changes in relation to fire safety could result in loss of space floor area and potential requirement for additional planning applications. (this list is not exhaustive)

UNIT NO:	BEDS:	SQM
1	1	39.2
2	1	41.7
3	1	52.6
4	1	40.4
5	1	45.9
6	1	39.9
7	1	41.7
8	1	39.2
9	1	41.7
10	1	39.0
11	2	62.0
12	1	40.4
13	1	45.9
14	1	40.3
15	1	39.9
16	1	44.2
17	1	40.4
18	1	39.0
19	2	62.0
20	1	45.9
(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER		

UNIT NO:	BEDS:	SQM
21	1	40.3
22	1	39.9
23	1	44.2
24	1	40.4
25	1	39.0
26	2	62.0
27	1	45.9
28	1	40.3
29	1	39.9
30	1	44.2
31	1	40.4
32	1	39.0
33	2	62.0
34	1	45.9
35	1	40.3
36	1	39.9
37	1	44.2
38	2	81.6
39	2	71.5
40	2	76.9
(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER		

C.	MINOR AMENDMENTS	12.03.24	JA
B.	FOURTH FLOOR BALCONIES AMENDED	11.03.24	JA
A.	SCHEDULE UPDATED	23.08.23	FG

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

PROPOSED FLOOR PLANS 2 OF 3

scale	AS SHOWN @ A1	checked	
date	MAY 2022	drawn	JA /FG
		A	B C

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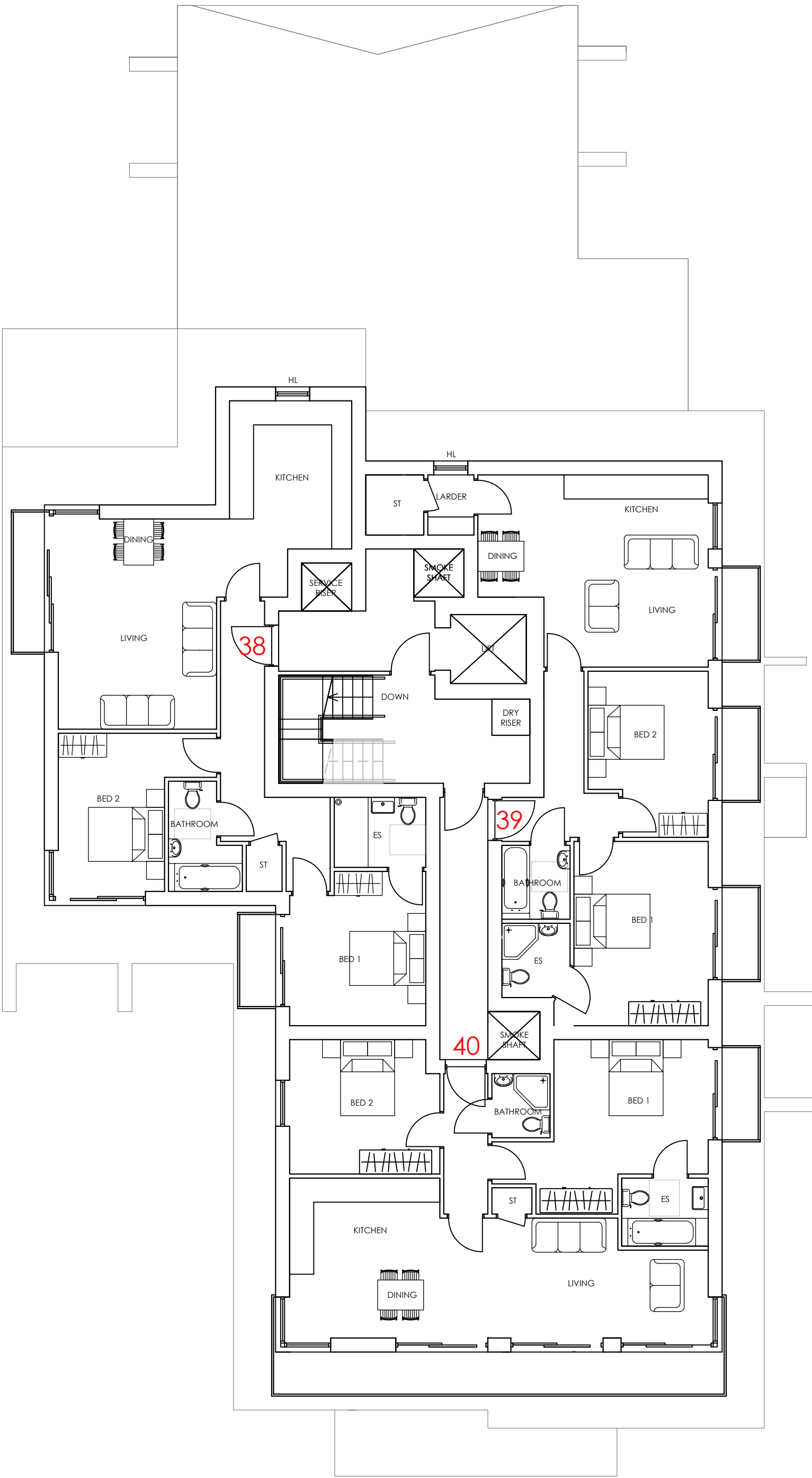
ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



10m @ 1:100



FIFTH FLOOR PLAN
SCALE 1:100

NOTES

rev-19-05-22

- The contents of this drawing are copyright.
- Planning drawings are only to be used for planning purposes & no reliance on compliance with Building regulations should be assumed.
- Do not scale. Figured dimensions only to be used.
- Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- All flat roofs to be fitted with a man safe system to satisfy CD4 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
- Start design to be independently checked by their fabricator for reg. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Macleanman waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
- A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
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- All Cladding & building attachments externally to be of A1 fire rated.
- NOTE: We do NOT take any responsibility and do not carry any PI cover in relation to any matter relating to fire safety. Part 8 building regulations, BS 9991 for fire as EWS1 and drawings to be away from a fire strategy/ report. All design details relating to fire safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.**
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Part 8 & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part 8 & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction. 3) Fixed shut fire safety glass 4) pain changes in relation to fire safety could result in loss of space/ floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND

UNIT NO:	BEDS:	SQM	UNIT NO:	BEDS:	SQM
1	1	39.2	21	1	40.3
2	1	41.7	22	1	39.9
3	1	52.6	23	1	44.2
4	1	40.4	24	1	40.4
5	1	45.9	25	1	39.0
6	1	39.9	26	2	62.0
7	1	41.7	27	1	45.9
8	1	39.2	28	1	40.3
9	1	41.7	29	1	39.9
10	1	39.0	30	1	44.2
11	2	62.0	31	1	40.4
12	1	40.4	32	1	39.0
13	1	45.9	33	2	62.0
14	1	40.3	34	1	45.9
15	1	39.9	35	1	40.3
16	1	44.2	36	1	39.9
17	1	40.4	37	1	44.2
18	1	39.0	38	2	81.6
19	2	62.0	39	2	71.5
20	1	45.9	40	2	76.9
(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER			(ST) = STORE CUPBOARD (HL) = HIGH LEVEL GLAZING (OB) = OBSCURED GLAZING (SR) = SERVICE RISER		

C.	MINOR AMENDMENT	12.03.24	JA
B.	BALCONIES AMENDED	11.03.24	JA
A.	SCHEDULE UPDATED	23.08.23	FG

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

PROPOSED FLOOR PLANS 3 OF 3

scale	AS SHOWN @ A1	checked	
date	MAY 2022	drawn	JA /FG
9442 / 103		A	B
		C	

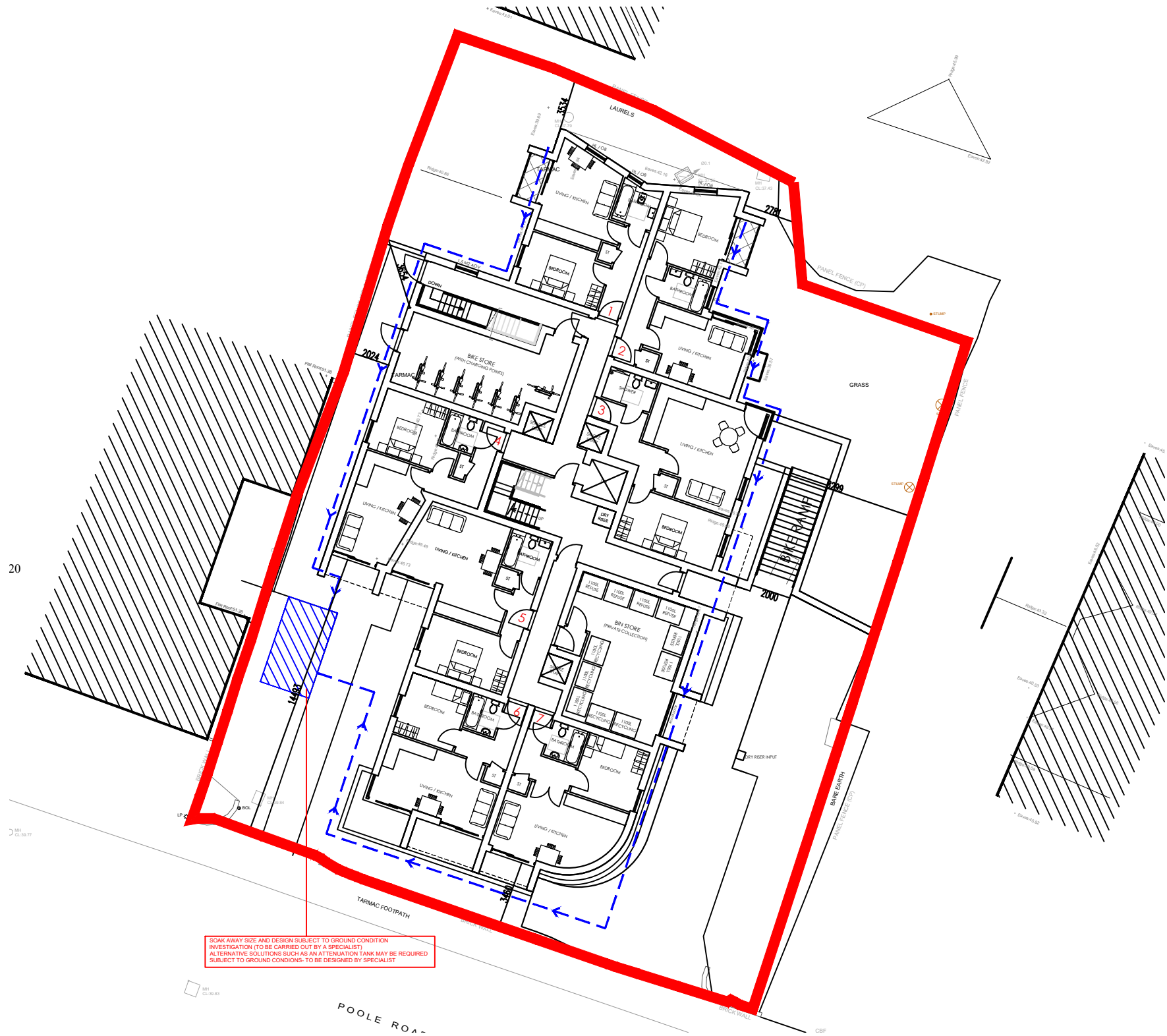
ARC Architecture Ltd.

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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



15m @ 1:250



SOAK AWAY SIZE AND DESIGN SUBJECT TO GROUND CONDITION INVESTIGATION (TO BE CARRIED OUT BY A SPECIALIST)
ALTERNATIVE SOLUTIONS SUCH AS AN ATTENUATION TANK MAY BE REQUIRED
SUBJECT TO GROUND CONDITIONS-TO BE DESIGNED BY SPECIALIST

TYPICAL MAINTENANCE PLAN	
MAINTENANCE	WHEN TO BE CARRIED OUT
- INSPECTION OF INLETS & OUTLETS - REMOVAL OF LITTER - GRASS CUTTING	MONTHLY
- REMOVAL OF SILT AROUND COMPONENTS - REMOVAL OF VEGETATION AROUND COMPONENTS - SUCTION SWEEPING OF PERMEABLE - PAVING	ANNUALLY

NOTES

rev-19-05-22

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- Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be assumed.
- Do not scale. Figured dimensions only to be used.
- Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
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- Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Macdermen waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing designs. - ARCC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
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DISCLAIMER: We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety, Part B building regulations, BS 9991 for fire or EWS1 and drawings in no way form a fire strategy report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document Report - all information contained in such a report supersedes ARCC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.

EW51: on independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EW51's on buildings outside of the EW51 standard criteria.

Part B & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems (domestic or commercial) 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) plan changes in relation to fire safety could result in loss of viable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

B.	UPDATED TO REFLECT SITE PLAN	23.08.23	FG
A.	CLIENT AMENDMENT	17.04.23	FG

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT,
TAYFIELD HOUSE,
38 POOLE ROAD,
BOURNEMOUTH,
DORSET,
BH4 9DW.

DRAINAGE PLAN

scale 1:250 @ A3	checked
date MARCH 2023	drawn FG

9442 / 107

ARC Architecture Ltd.

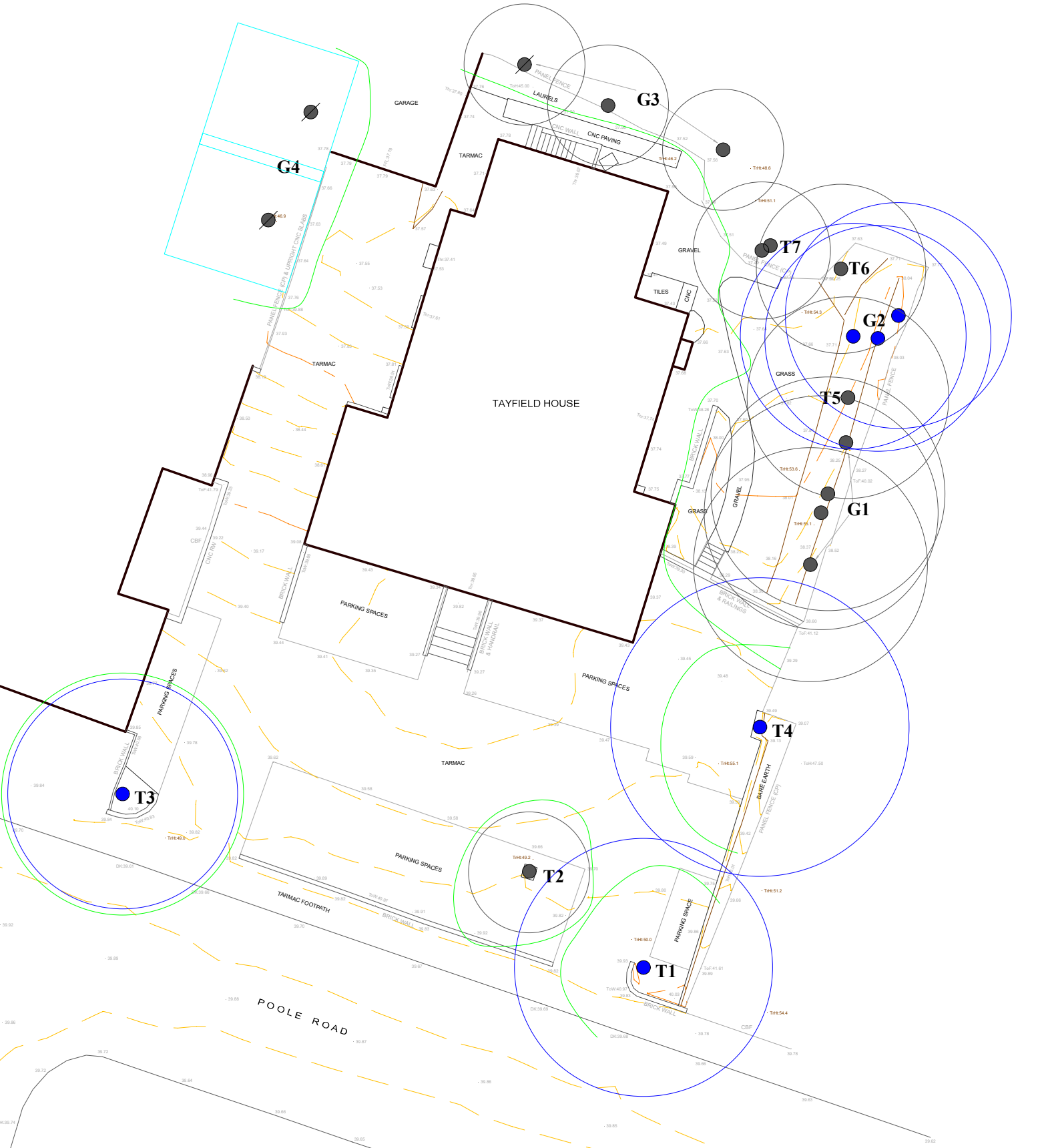
Chapel Studios, 14 Purewell,
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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



TREE CONSTRAINTS PLAN (EXISTING) GH2273a

Scale: 1:250



TREE PROTECTION PLAN (PROPOSED) GH2273b

Scale: 1:200

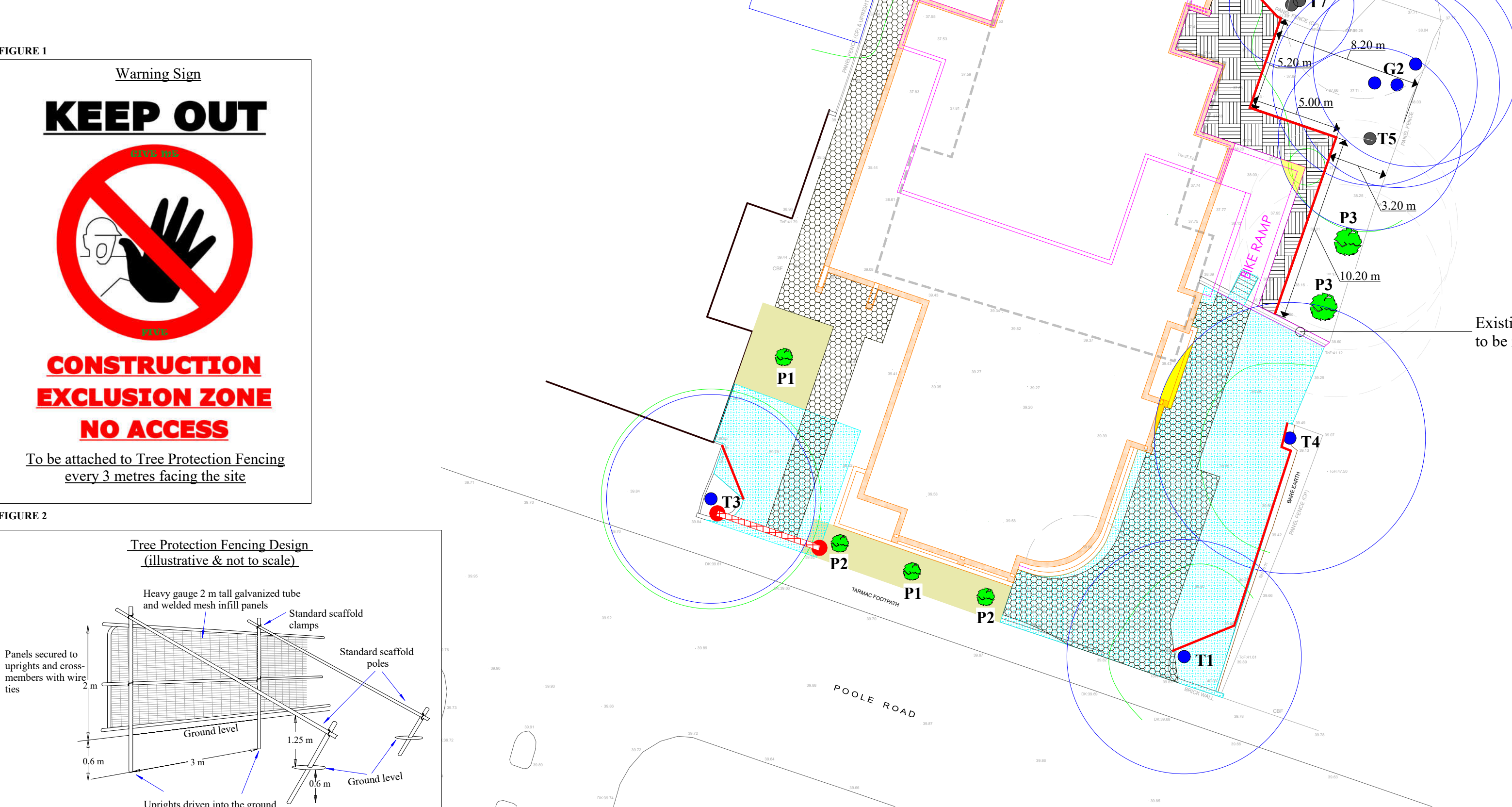


FIGURE 3

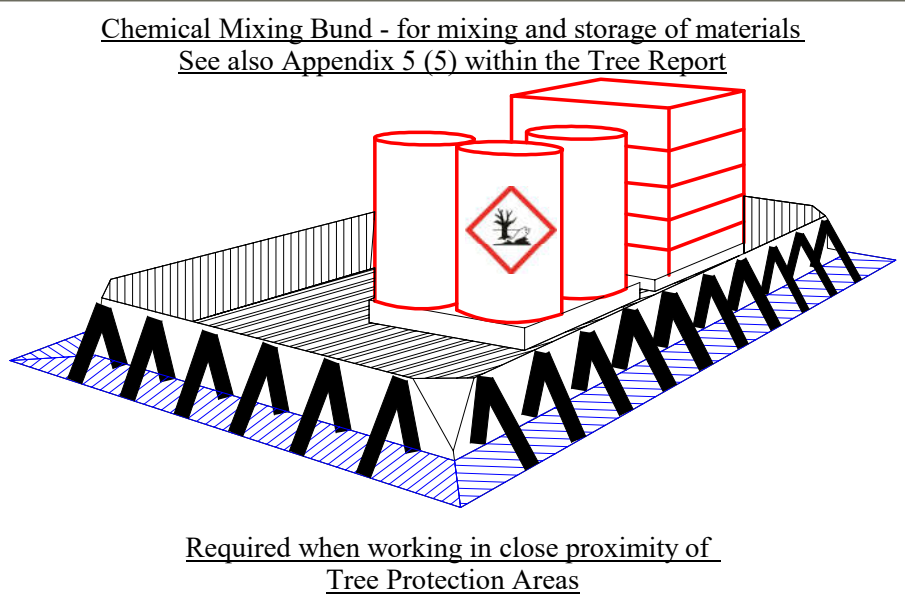
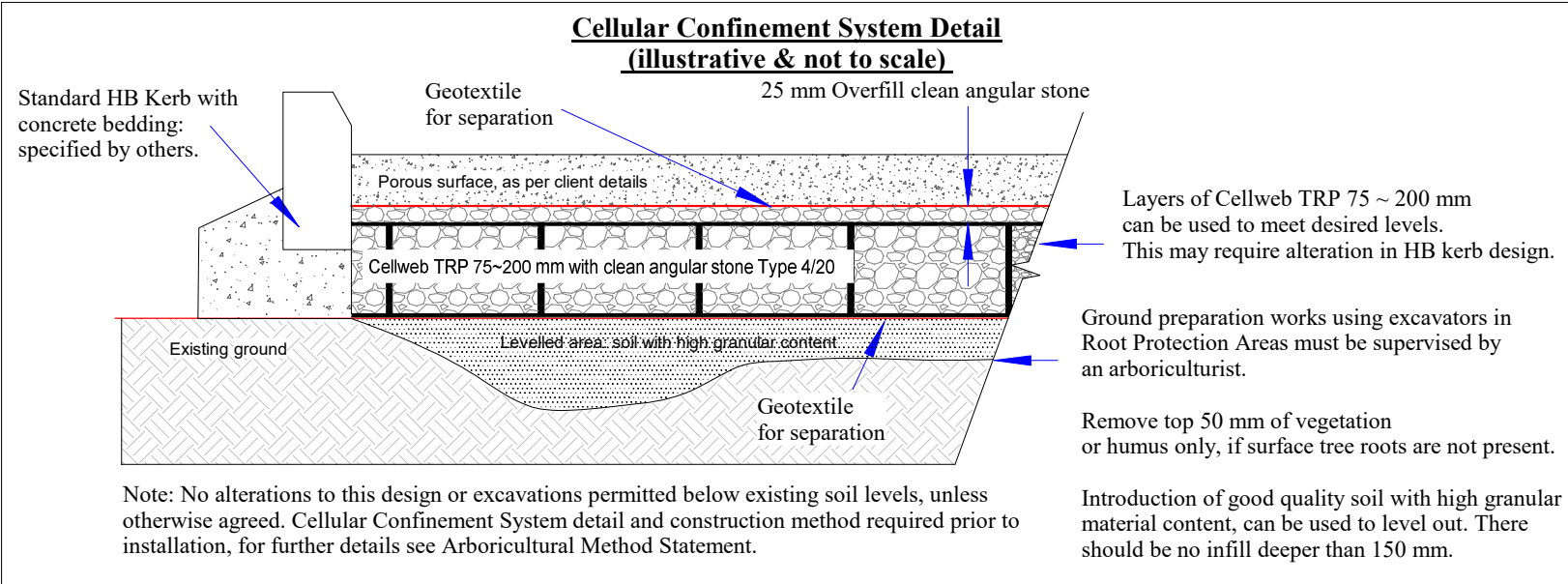


FIGURE 4



FIGURE 5



TREE CONSTRAINTS PLAN - LEGEND	
Tree Location & Number	● T1 & G1
Canopy Spread	—
Trees not detailed on plans provided	∅
Adjusted Root Protection Area (see report GH2273, section 9.2)	□
British Standard 5837:2012 Tree Categories Key	
●	BS 5837:2012 Category B Tree Root Protection Area
●	BS 5837:2012 Category C Tree Root Protection Area

TREE PROTECTION PLAN - LEGEND	
Tree Location & Number	● T1 & G1
Trees not detailed on plans provided	∅
Trees for Removal	○
Canopy Spread	—
Root Protection Area	○ □
Proposed Lower Ground Floor	—
Proposed Ground Floor	—
Tree Protection Fencing Demolition & Construction (see section 2)	—
Maximum Height Restrictor set at 4 m (see section 2)	● — ●
Ground Protection (see section 2)	—
Handstanding retained as Ground Protection (see section 3a)	—
Excavation with caution within tree RPA (see section 3b)	— = 1.3% T4's RPA = 1.6% T5's RPA
Footpath Construction Cellular Confinement System (see section 3c)	—
Planting Areas soil amelioration (see section 3d)	—
Tree Planting (see Figures 6, 7 & report GH2273 Appendix 5 (9 & 10))	● P1 - P3
Location of surface water service routes, Soakaway Electricity, Gas, Broadband and Water, including Foul water (see section 4)	—

Site Address:	
Tayfield House 38 Poole Road Bournemouth, BH4 9DW	
Client:	
Harlequin Homes Ltd	
Document Titles:	
Tree Constraints Plan GH2273a Tree Protection Plan GH2273b Arboricultural Method Statement	
Rev.	02
Date:	12/07/2022
Drawing Ref:	GH2273a & GH2273b
Paper Size and Scale: A1 - As Plan	
Project Ref:	
GH2273	
IMPORTANT NOTICE	
This plan is based on the plans and/or site layout plans provided. All measurements must be checked with these plans and appropriate documents. All dimensions to be checked on site prior to commencement of work. Differences between drawings, specifications or structural engineer's details are to be referred immediately to Gwydion's Tree Consultancy. Work should only be undertaken from local authority approved drawings. For further information see associated report GH2273	
THIS PLAN SHOULD BE VIEWED IN COLOUR	
Tel: 01202 748967 office@gwydiontreeconsultancy.co.uk gwydiontreeconsultancy.co.uk	

Revisions:	
2)	-Minor footprint amendment -Minor change to Tree Protection & tree planting locations
1)	-Minor footprint amendment -Minor change to Tree Protection

Arboricultural Method Statement GH2273

1. Phased Development in relation to Tree Protection – in order of events A to N	
A. A person with relevant experience, must design the details relating to the services and rainwater soakaways/holding tanks, or waste pumps (section 4), and Cellular Confinement System footpath (section 3c). These must include accurate locations of installation, including cross-sections, detailing levels of existing / proposed finished levels and construction method statements for each specific operation, which will be required prior to or at the pre-commencement meeting. Written approval of the design, in relation to trees, should be acquired from the developer's acting Arboricultural Consultant or the LPA Arboricultural Officer.	
B. Pre-development meeting to discuss Tree Protection, setting out & specific construction techniques	
C. tree work - see Tree Survey Schedule within Arboricultural Report GH2273	
D. installation of Tree Protection measures - see section 2	
E. Pre-commencement meeting, post installation of Tree Protection measures including the chemical storage/mixing bund, (detailed within Figures 1, 2, 3 & 4, section 2 and plan GH2273b), and prior to demolition and construction. The pre-commencement meeting should be held and attended by the developer's Arboricultural Consultant and the designated site foreman to discuss details of the working procedures. A representative from the Local Planning Authority may request attendance at the meeting.	
F. additional Tree Protection - see section 9.2(4) & Appendix 5(1) within Arboricultural Report GH2273	
G. specific construction technique - see section 3b: excavation with caution	
H. services installation - see section 4	
I. main construction & main construction completion	
J. specific construction technique - see section 3c: Cellular Confinement System footpath	
K. removal of Tree Protection measures - see section 5	
L. specific construction technique - see section 3d: planting areas: soil amelioration	
M. landscaping - see Appendix 5 (8) within Arboricultural Report GH2273	
N. tree planting - see Figures 6 & 7, Appendix 5 (9 & 10) within Arboricultural Report GH2273	
= Arboricultural Supervision required	
The project manager will give the Arboricultural Consultant at least 48 hours' written notice prior to any Arboricultural Supervision activity. If there is a specific request from a representative of the LPA wishing to attend, 7 days' notice shall be required. An Arboricultural Supervision statement will be submitted to the Local Planning Authority, in writing after each supervision event.	

2. Tree Protection Measures see also section 9.2(4) & Appendix 5 within Arboricultural Report GH2273	
Tree Protection fencing design for construction and demolition, requires a scaffold framework with Heras Panels or steel mesh attached. For fencing design and specific locations see plan GH2273b and Figure 2. Laminated Construction Exclusion signs (Figure 1) should be placed upon the side of the fencing, facing the development at 3 metre intervals.	
Existing handstanding retained as Ground Protection	
See section 3a	
Ground Protection in the form of rigid Ground Guards will be used, see Figure 4. For specific locations, see plan GH2273b. They will be laid on top of a base layer of Geotextile membrane to separate the Ground Protection from the soil. The Geotextile separation fabric will be of such a design that will not be punctured, ripped, or allow fines (e.g. fine particles, sand, broken stone, brick, soil etc.) to penetrate. The Ground Guards should be securely attached (using the product specification), both together and to the existing ground, having first established the exact location of any underground services.	
Maximum height restrictor Due to the low canopies of retained trees, there will be a height-limiting barrier constructed in one location, detailed within plan GH2273b, set at a height of 4 metres. This should be constructed from scaffolding, to which warning tape will be attached, including a sign detailing the height.	
Chemical storage/mixing & welfare units Storage and mixing of chemicals will be required near Root Protection Areas, where the use of a water-tight and chemical resistant bund will be essential, to avoid any run-off from toxic materials. Figure 3 details design of such a bund. Site cabins / welfare units must be located outside the tree Root Protection Areas, unless otherwise agreed. All temporary services should run above ground or be contained within the facility and managed as appropriate. In direct relation to these operations, see Appendix 5 (3 & 5) within Arboricultural Report GH2273.	
Working Method: During demolition and construction, the Tree Protection measures should not be removed or moved at any stage, unless agreed upon by a representative of the Local Planning Authority and/or the acting Arboricultural Consultant for the site, or unless otherwise stated within this report.	
Throughout the proposal, it is important to monitor the condition of the Tree Protective measures, assess whether they are still fit for purpose and meet the design standard within this report. It is recommended that Tree Protection be added to the on-site risk assessment and protective fencing should be subject to a Fixed Scaffolding Safety Checklist.	
Reason: Retained trees and associated soil structure within this report take priority. Entering within areas designated for construction exclusion, will inevitably compromise the health of valuable trees. Barriers should be fit for excluding construction activity and appropriate to the degree and proximity of work taking place around retained trees.	

3. Specific construction techniques (within RPA)	
a) Handstanding retained as Ground Protection	
The areas requiring this working method are depicted in plan GH2273b as light-blue polygons and are located within the theoretical Root Protection Area (RPA) of trees T1, T3 & T4.	
Working Method:	
Throughout construction the existing handstanding should be retained as Tree Protection (Ground Protection) as it is in a good stable condition. However, if the surface wearing course starts breaking up or sinking, there is a requirement to cover damaged areas with Ground Guards, see section 2. Where areas of excavation for foundations or service routes are required, the entry holes should be cut with an angle grinder, to avoid the handstanding breaking. Within the final phases of construction, after all heavy machinery has been removed from site, existing handstanding, should be replaced with a permeable wearing course, see section 3c. Any areas of existing handstanding which are not detailed for replacement, should be excavated by hand and replaced with up to 150 mm of well aggregated soil and landscaped.	
Reason: The handstanding in a stable condition will be adequate Tree Protection, protecting the tree roots and surrounding soil structure. By repairing the wearing course with Ground Guards, where necessary, continued protection of tree roots and soil structure should be maintained. The replacement of the non-porous wearing course/ surface to a porous one, will promote a healthy environment for trees to grow.	
b) Excavation with caution	
The areas requiring excavation are depicted in plan GH2273b as yellow polygons and are located within the theoretical Root Protection Area (RPA) of trees T4 & T5.	
Working Method: The areas detailed for excavation must be undertaken with caution, using hand-operated tools only, unless otherwise agreed with the site's acting Arboricultural Consultant or the Local Planning Authority. Where areas of excavation for foundations or service routes are required within the existing handstanding, the entry holes should be cut with an angle grinder, to avoid the handstanding breaking. If tree roots are unearthed, they are to be pruned back to the edge of the excavation, making a clean cut with a suitable sharp tool (e.g. bypass secateurs or handsaw). If tree roots are left exposed for more than one day, they should be covered in dry hessian sacking or similar material to avoid desiccation and frost. If a concrete mix, or a chemical substance is to be used in direct contact with the newly excavated soil face, a lining of impermeable chemical-resistant plastic should be used as a separation barrier.	
Reason: Excavation using mechanically driven machinery, will inevitably cause damage to tree roots and soil structure. The use of hand-operated tools allows for a more detailed and observant excavation. This working method will reduce the risk of damaging shallow tree roots and valuable soil. The use of a chemical-resistant plastic will reduce the risk of dangerous leachates, from the chemical mixture, contaminating the soil and/or compromising tree roots.	
c) Cellular Confinement System (CCS) footpath	
Illustrative design of the CCS required is detailed in Figure 5, plan GH2273b and its location is marked as polygons with a hexagonal pattern. A structural engineer with relevant experience should design the CCS, as detailed within section 1A.	
Working Method: Notwithstanding the approved design and construction method statement (section 1A), this work should be undertaken, having notified the site's acting Arboricultural Consultant of the contractor's intent to proceed, to allow for site supervision to occur upon commencement. The installation of the CCS should be undertaken at the end of the project, see Phased Development, section 1. The entire area of CCS should be covered with a porous wearing course and must be detailed within any hard landscaping scheme.	
Reason: The CCS protects tree roots from the damaging effects of compaction and desiccation, whilst creating a stable, reliable load-bearing surface for vehicular traffic.	
d) Planting areas: soil amelioration	
It has been deemed unreasonable to protect the existing soil within a single proposed planting location, as it would complicate construction activities and inevitably, the soil may become compacted or contaminated. Detailed on plan GH2273b, is the location requiring soft landscaping, marked as a light-green polygon.	
Working Method: This work should be undertaken, having notified the site's acting Arboricultural Consultant of the contractor's intent to proceed, to allow for site supervision to occur upon commencement, see section 1. It is recommended that the retention of the site's existing topsoil, or medium, is desirable. Upon levelling of the site, it is recommended that the topsoil should be excavated and stored. Retaining the soil within the site would be the preferred option, however, it would also be possible to import a suitable growing medium. Upon completion of construction, contaminated soil will need to be removed from site and replaced. If the soil within the site is retained, simple tests should be undertaken to ascertain the soil's quality, e.g. compaction: testing through PSI or kg pressure, testing potential of hydrogen – pH and through a visual assessment. Until the soil meets an optimum balance, no trees or shrubs should be planted.	
Reason: This construction method should ensure that newly planted trees and shrubs will establish into maturity.	

4) Services (electricity, gas, water, foul water & broadband)	
Services and rainwater soakaways/holding tanks, or waste pumps should be constructed outside the tree Root Protection Areas and located a minimum of 2 m away from any new or proposed tree planting (unless agreed with Arboricultural Consultant and specific provisions are applied). A structural / drainage engineer with relevant experience should design the service locations and rainwater disposal; see section 1A. All gutters, rainwater downpipes and drains must have gutter or drain guards to reduce the risk of blockage from tree-related debris.	
5) Removal of Tree Protection	
The removal of any Tree Protection can only take place upon completion of Phased Development and upon completion of the project, or under agreement with the acting Arboricultural Consultant. Written consent may be required from the Local Planning Authority to undertake such an operation.	
Note: This report does not give guidance on building near trees, hedgerows, and shrubs in shrinkable soils [National House Building Council (NHBC) guidance in relation to trees, chapter 4.2], as this should be addressed during the Building Regulations phase, unless otherwise requested.	

